

Unrestricted Report

ITEM NO: 9

Application No.
14/00239/LB

Ward:
Winkfield And
Cranbourne

Date Registered:
8 April 2014

Target Decision Date:
3 June 2014

Site Address:

**Cranbourne Primary School Level Road Winkfield
Windsor Berkshire SL4 2EU**

Proposal:

Application for listed building consent for the demolition of existing pre-fabricated concrete classrooms and erection of two single storey extensions to provide replacement classrooms. Alterations to car park layout and new bin stores. (Regulation 3 Application).

Applicant:

Bracknell Forest Council

Agent:

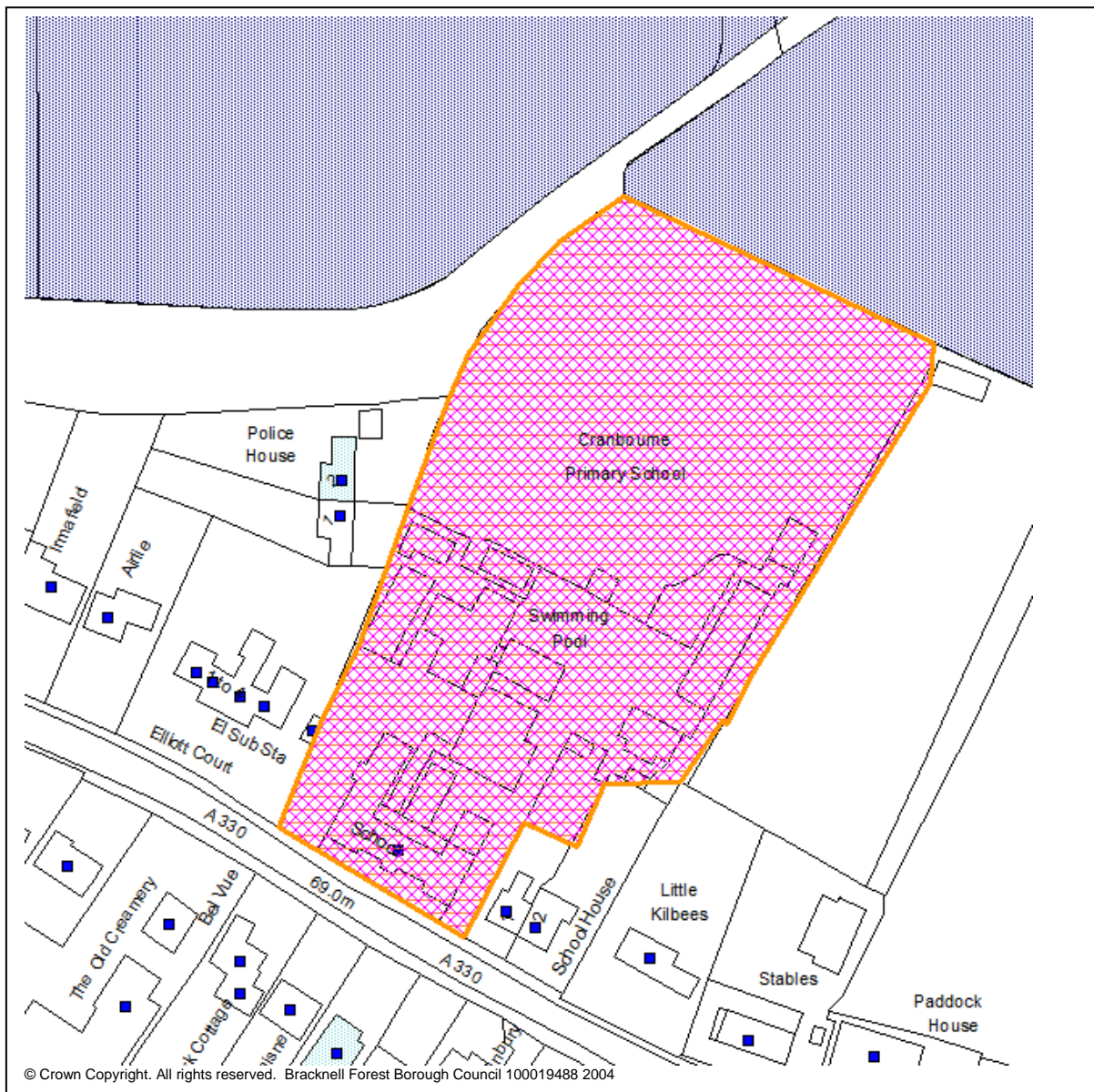
Griffin Lascelles Associates

Case Officer:

Simon Roskilly, 01344 352000

Development.control@bracknell-forest.gov.uk

Site Location Plan (for identification purposes only, not to scale)



OFFICER REPORT

1. REASON FOR REPORTING APPLICATION TO COMMITTEE

The Head of Development Management considers it appropriate to take the application to Committee as it represents a Council application that has received objections.

2. SITE DESCRIPTION

Cranbourne Primary School is a 1 Form Entry Primary School that can accommodate up to 210 pupils. There is also a private nursery operated on site.

The school is situated on a 1.04 hectare site located within the designated Green Belt and 'Lovel Road' Northern Villages Character Area (B4). The school is a Grade II listed building.

The school, site is accessed off Lovel Road whereby there are two vehicular points of access and one main pedestrian access route.

The southern boundary of the school site is bounded by 1 School House, Lovel Road, a house (which is listed) and its garden. The north-western boundary of the site is bounded by Elliot Court (flats) and 1 and 2 Police House Cottages.

North-east of the main school buildings are the schools playing fields which then lead into open Green Belt countryside.

3. RELEVANT SITE HISTORY

14/00238/3- Erection of 2no. extensions to the school building following demolition of existing buildings. Alterations to the current parking layout and erection of bin stores.

13/00115/3 - Change of use of residential garden to school playground and erection of 1.8m high boundary fence. Approved February 2013.

11/00231/3 - Erection of 2no. single-storey extensions to main hall to form kitchen and hall store. Insertion of new window in east elevation of hall and double doors in north elevation. (Regulation 3 application). Approved April 2011.

10/00216/3 - Erection of two single storey extensions to IT Suite to provide new community room with ancillary toilet and kitchen (Regulation 3 application). Approved May 2010.

04/01097/FUL - Erection of extension forming new classroom block in place of existing swimming pool, extension to enlarge existing classroom and construction of new swimming pool involving demolition of detached pre-fabricated building. Approved November 2004.

4. THE PROPOSAL

Application for listed building consent for the demolition of existing pre-fabricated concrete classrooms and erection of two single storey extensions to provide replacement classrooms. Alterations to car park layout and new bin stores.

5. REPRESENTATIONS RECEIVED

1no. letter of objection has been received with the reference number relating to this the Listed Building Consent Application. However points raised predominately refer to considerations outside that of what is assessed under a Listed Building Consent Application.

Therefore these comments have been addressed under the Committee report for planning application 14/00238/3.

6. SUMMARY OF CONSULTATION RESPONSES

Winkfield Parish Council:

Recommend refusal, WPC has concerns that the parking provision will result in further roadside parking on adjacent roads.

[Officer Comment: WPC have objected to the Listed Building Consent with comments relevant to the planning application. For this reason this comments have been addressed under the Committee report for 14/00238/3.]

English Heritage:

The application(s) should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice.

It is not necessary for us to be consulted again on this application. However, if you would like further advice, please contact us to explain your request. We can then let you know if we are able to help further and agree a timetable with you.

Council's Principal Conservation Officer:

In principal no objections to the loss of the modern school wings to the rear, as they have no inherent historic or architectural merit. Indeed, their removal could bring an enhancement to the Listed school's setting. The overall bulk, scale, massing & layout of the new wings are acceptable subject to conditions securing suitable materials and finish.

The Conservation Officer also suggested the following amendments:-

- The windows should be either casements (side-hung), or sashes (up-&-down sliding sashes); it appears casements are proposed; this and the actual materials should be clarified. They should be timber (NOT plastic, or aluminium), to be in-keeping with the Listed Building. [Officer Comments: The applicant has agreed to casements and it could be conditioned that samples are submitted for approval. Therefore no amended plans are required.]

- The window headers are 'soldier' arches, which seems inappropriate here. These should be amended to a 'gauged' brick arch -which is now available as 'boxed units' (off-the-peg), to conceal a concrete lintol behind. This is especially visible, so more important on the flank elevation (shown on 'D-D' cross-section). [Officer Comments: The building to which the extension would be attached has none of the features that are suggested by the Conservation Officer. Identical features to the ones suggested by the applicant have been shown already attached to the main listed building on previous extensions. To ask for a feature other than the one put forward is considered excessive. What is proposed is considered in-keeping with the Listed Building (subject to materials and finish).]

7. DEVELOPMENT PLAN

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications for planning permission must be determined in accordance with the Development Plan, unless material considerations indicate otherwise.

For Bracknell Forest, the Development Plan includes the following:-

- Policy NRM6 of the South East Plan (May 2009) (SEP)
- Core Strategy (February 2008) (CS)
- Bracknell Forest Borough Local Plan (January 2002) (BFBLP)
- Site Allocations Local Plan (July 2013) (SALP)

The Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) states that no works involving the alteration or extension to a listed building in a manner that would affect its character as a building of special architectural or historical interest shall be carried out unless works are authorised by the local planning authority. Therefore this proposal is assessed based on its potential impacts on the character and setting of the host Listed Building.

CSDPD Policy CS1 requires development to protect and enhance the historic and cultural features of acknowledged importance. CSDPD Policy CS7 states that development proposals will be permitted which respect the historic environment.

These policies are considered to be consistent with the objectives set out within the NPPF, which states that heritage assets should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations.

Section 12 of the NPPF refers to conserving and enhancing the historical environment. Para. 126 of the NPPF states that the local planning authority should take into account the desirability of sustaining and enhancing the significance of heritage assets, and recognise the wider benefits that the conservation of the historic environment can bring.

Para. 132 of the NPPF states that when considering the impact of a proposal on the significance of a designated heritage asset, great weight should be given to the asset's conservation. Significance can be harmed or lost through alteration to the heritage asset, and any harm to a grade II listed building should only be allowed under exceptional circumstances. Para. 133 of the NPPF states that where a proposal would lead to substantial harm to a designated heritage asset, local planning authorities should refuse consent, unless it could be demonstrated that the substantial harm is necessary to achieve substantial public benefits that outweigh that harm. Para. 137 of the NPPF states that preserve the setting of heritage assets and/or make a positive contribution to or better reveal the significance of the asset should be treated favourably.

8. LISTED BUILDING CONSIDERATIONS

The school is a Grade II listed building. The NPPF states that harm to heritage assets or their settings should only be justified in exceptional circumstances (para. 132). Para. 128 of the NPPF states that in determining applications, Local Planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.

The main school building at Cranbourne School is Grade II listed. There are no concerns regarding the loss of the modern school wings to the rear, as they have no inherent historic or architectural merit. Indeed, their replacement could bring an enhancement to the Listed school's setting. The overall bulk, scale and massing of the new wings are acceptable. The alterations to the car park and new bin stores are also considered in keeping.

Subject to suitable materials and finish which could be conditioned the extensions to the school building and alterations to the parking layout are not considered to result in a detrimental impact upon the historic character of the Listed Building and its setting.

As such the proposal is considered in accordance with CSDPD Policies CS1 and CS7 and the NPPF.

9. CONCLUSION AND RECOMMENDATION

It is considered that the works proposed would not result in an adverse impact on the character and setting of the listed building or to the fabric of the building itself, subject to the recommended conditions, in accordance with Development Plan Policies CSDPD Policies CS1 and CS7, and the NPPF.

RECOMMENDATION

That the application be referred to the Government in accordance with the regulations in respects of Council owned listed buildings on the basis that the Committee is minded to approve the application subject to the following conditions:

01. The works hereby approved shall be begun before the expiry of three years from the date of this permission.

REASON: To comply with Section 18 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990.

02. The works hereby approved shall be carried out only in accordance with the following approved plans:-

5124789/A/001/T2 received 08.04.14

5124789/A/200/P2 received 08.04.14

5124789/A/201/P2 received 08.04.14

5124789/A/202/P2 received 08.04.14

5124789/A/203/P2 received 08.04.14

5124789/A/206/P2 received 08.04.14

5124789/A/210/P2 received 08.04.14

5124789/A/900/P2 received 08.04.14

5124789/A/211/T1 received 20.07.14

REASON: To ensure that the works are carried out only as approved by the Local Planning Authority.

03. The works shall not be begun until a scheme has been submitted to and approved in writing by the Local Planning Authority for steps and works to be taken to secure the safety and stability of the building including measures to strengthen any walk or vertical surface, to support any roof or horizontal surface and to provide protection to the building from weather during the progress of works. The steps and works shall be undertaken in accordance with the approved scheme.

REASON: To protect and preserve the listed building

[Relevant Policies: Core Strategy DPD CS1]

04. The rebuilding shall not be begun until a sample panel of brickwork showing the proposed brick, method of bonding, colour of mortar and type of pointing to be used in the proposed extensions shall be prepared on site has been approved by the Local Planning Authority in writing. The works shall only be carried out in accordance with the approved details.

REASON: To protect and preserve the character of the listed building.

[Relevant Policies: Core Strategy DPD CS1]

05. Any areas of external brickwork required to be reinstated in accordance with the approved plans shall match the existing adjacent brickwork in brick colour and size, mortar colour and pointing and bonding detail.

REASON: To protect and preserve the character of the listed building
[Relevant Policies: Core Strategy DPD CS1]

06. No external brickwork shall be re-pointed until a sample area has been prepared on site to show the proposed mortar composition and colour, and method of pointing, and has been approved in writing by the Local Planning Authority. The works shall only be carried out in accordance with approved details.

REASON: To protect and preserve the character of the listed building.
[Relevant Policies: Core Strategy DPD CS1]

07. No works shall be undertaken until samples of the roof tiles, casement windows and doors to be used in the extensions hereby approved have been submitted to and approved in writing by the Local Planning Authority. The works shall be carried out using the approved materials.

REASON: To protect and preserve the character of the listed building.
[Relevant Policies: Core Strategy DPD CS1]

08. No new windows and doors shall be inserted in the building unless further details of the new or replacement windows and doors have been submitted to and approved in writing by the Local Planning Authority. The works shall be carried out in accordance with the approved details.

REASON: To protect and preserve the character of the listed building
[Relevant Policies: Core Strategy DPD CS1]

09. Further details of all external rainwater, drainage and ventilation goods shall be submitted to and approved by the Local Planning Authority in writing prior to their installation. The work shall only be carried out in accordance with the approved details.

REASON: To protect and preserve the character of the listed building.
[Relevant Policies: Core Strategy DPD CS1]

Informative(s):

01. No further details need to be submitted in respect of conditions 01, 02, 05, 08 although they need to be complied. However further details need to be submitted to address conditions 03, 04, 06, 07 and 09.

Doc. Ref: Uniform 7/DC/Agenda

The application file to which this report relates can be viewed at the Council's Time Square office during office hours or online at www.bracknell-forest.gov.uk